

Built Character & Open Space



Figure 9.1: A typical view within the O'Devaney Gardens estate. This is the northern part of the proposed development site as seen from the central sports field. All blocks are four storeys high, with streets and open space dominated by railings and security fencing.



Figure 9.2: Some courtyard spaces between the residential blocks are openly accessible, some retaining the drying space as seen here. The minimal level of car parking here is typical and the courtyards appear to remain largely unused in other respects. On account of its elevated position on the northern side of the River Liffey valley, there are frequent views to the distant Dublin Mountains.



Figure 9.3: Some courtyard spaces provide green areas but many are not easily accessible on account of perimeter security fencing and a lack of direct access from adjoining buildings. Note again the view to the distant Dublin Mountains.



Figure 9.4: Public open space appears to be little used for its intended purpose. Closer inspection reveals damage to the sports area from cars, and maintenance appears to be minimal. At the centre and right of this view are properties on Findlater Street (accessed via North Circular Road). Note the view of the Wellington Memorial set within the trees of Phoenix Park in the distance.

Views & Prospects (not designated)



Figure 9.5: The Montpellier Park residential area adjoins the site's southern boundary, as seen at the left of this view and towards the end of this vista; to the right lies one of the O'Devaney Gardens residential blocks. Note the view of the Wellington Memorial in Phoenix Park.



Figure 9.6: The western side of the site provides fenced-off green open space adjoining the boundary with St. Brigid's Military Hospital (left of this view, behind trees). Note the view of the distant Dublin Mountains.

Adjoining Properties



Figure 9.7: This view is looking north just inside the entrance to St. Brigid's Military Hospital. To the left is the original perimeter wall, hidden behind the trees that feature in figure 9.6 above. This open space comprises part of the proposed development site (Phase 2), whose boundary is demarcated by the new perimeter wall to St. Brigid's on the right.



Figure 9.8: St. Brigid's military Hospital, built by the British Army from 1903 and first occupied 1913, is a broadly Victorian-style red brick hospital overlooking the surrounding area, including partial views of O'Devaney Gardens.



Figure 9.9: The upper floors of St. Bricin's Military Hospital afford panoramic views across the city, taking in the neighbouring O'Devaney Gardens as seen here immediately beyond the trees. In the foreground is the former Chapel (built c.1930) and former nurses home beyond (built c.1950).



Figure 9.10: Adjoining O'Devaney Garden's eastern boundary is the western 'suburb' of Stoneybatter, an area of single- and two-storey cottages built between 1879 and 1908; those shown here were built towards the end of this period. There is currently no vehicular access between O'Devaney Gardens and this area. Railings and security fencing make an unpleasant transition between the two.



Figure 9.11: The rear boundaries of properties on Findlater Street, and further on at Montpellier Gardens, define a very unattractive western boundary to O'Devaney Gardens.



Figure 9.12: Impressive terraces of Victorian red-brick dwellings on North Circular Road adjoin the site's northern boundary - the rear of which are seen as a backdrop to this view. In the middle ground, former residential blocks within O'Devaney Gardens have been demolished and cleared.

Views into the site



Figure 9.13A: A glimpsed view into the proposed development site from North Circular Road. Beyond the two trees lies a fenced-off plot where residential blocks stood until recently, then the central open space and finally a residential block in the southern half of the site.



Figure 9.13B: Photomontage "View 1" illustrates the same view as in Figure 9.13A above with the proposed development superimposed. The new tree-lined avenue is clearly visible, with the proposed "Block B" apartments to the right of it; the future retail centre lies behind and left of the retained tree. The red line indicates the remainder of the proposed development.



Figure 9.14A: The proposed development site is a dominant feature in some views from the streets adjoining the north-eastern site boundary, such as here at Ashford Terrace. There is no means of vehicular access between the two at this point.



Figure 9.14B: Photomontage "View 2" illustrates the same view incorporating the proposed development. The existing street will be extended into the proposed development, lined with residential and live-work units to the left, with the central open space beyond (hidden from view here), and the future retail centre to the right continuing the building line established by the cottages.



Figure 9.15A: Swords Street, adjoining Thor Place, provides the only means of access to the proposed development site from the east. One of the existing residential blocks is a dominant feature of a streetscape otherwise occupied by single-storey cottages.



Figure 9.15B: This is Photomontage "View 3" where the proposed development provides a view into the central public open space framed by an avenue of trees. This avenue marks the transition between Phase 1 and subsequent phases of the proposed development. Phase 1 Block D and the upper floor of Block C are visible to the right of the avenue, with the proposed Phase 1 Block B visible at the end of the avenue.



Figure 9.16A: View north from Montpellier Park into the proposed development site. The residential block in the foreground is a dominant feature of the landscape. Open space is fenced off and inaccessible. Part of the proposed development site lies beyond the wall and trees to the right.



Figure 9.16B: In Photomontage "View 4", as shown here, the proposed Phase 1 development comprises only a small part of the view, as the extended spine road, avenue of trees and future residential development to either side of the road are the main components of this view; as a consequence, the Phase 1 development is likely to remain largely screened from view until Phase 2 onwards is undertaken. At the end of the avenue, the central public open space is visible with Block C as a backdrop to it. In the foreground (left), a second public open space is proposed as part of future development.



Figure 9.17: CGI "View 5". The central public open space will facilitate both passive and formal recreation. The interface with Block C (right) comprises a line of trees and low shrub planting, providing a visual buffer between buildings and open space; there is a similar transition between the park and the adjoining road (left, out of view). Amenity grass provides informal recreation for all, while a play area provides more formal recreation for children.



Figure 9.18: CGI "View 6". A central plaza will accommodate a multitude of uses, paved with high quality stone slabs and setts, with colourful seating and a central public art feature adding to the dynamics of the space. Community events or even a market could be held here. Apartments overlooking the space will provide passive supervision, while perimeter tree planting creates a partial sense of privacy.



Figure 9.19: CGI "View 7". Here, Phase 1 Block C is shown to the left and Block D to the right. New streetscapes will be characterised by residential units 2-3 storeys high, mostly with gardens and/or planting to the front. Off-road parking is to be provided by driveways (as on the right) or garages (as on the left). Future residential development will complete the streetscape in this view.



Figure 9.20: "CGI View 8". Here, Phase 1 Block B is shown to the left and Block A to the right. New streetscapes will be characterised by residential units 2-4 storeys high, mostly with gardens and/or planting to the front. Off-road parking is to be provided by driveways (as on the right) or garages (as on the left). Future residential development will complete the streetscape at the end of this vista.



Figure 9.21: CGI "View 9". A variety of courtyard spaces will be provided; in Phase 1, this includes Blocks B and C. The internal space for Block B is shown here, demonstrating the private open space provided by balconies/terraces and private gardens. At the centre lies a small communal open space, which will provide for social interaction and safe children's play.



Figure 9.22: CGI "View 10". The new street adjoining the proposed development site's western boundary will provide a vista from Montpellier Gardens to Phase 1. Phase 2 onwards will remove unsightly views at the left-hand side of the street of the rear of properties on Montpellier Gardens (to the left in this view), introducing new residential units and balancing the streetscape with new residential blocks to the right. A new green public open space will front onto Montpellier Gardens (right of this view).



Figure 9.23: CGI "View 11". The aerial view is from the north-western side of the proposed development site, looking along the proposed central spine road into Phase 1, with the public open space at its centre clearly functioning as a focus for the proposed development. The broad format and layout of blocks within future development phases is also set out here.



Figure 9.24: CGI "View 12". This aerial view is taken from south of the site, looking along the central spine road from Montpellier Gardens (foreground). The provision of green open space within future phases of the proposed development is clearly demonstrated here. In the foreground is an area that will form the second public open space for the proposed development, while significant areas of private and communal open space will be provided within future residential blocks.

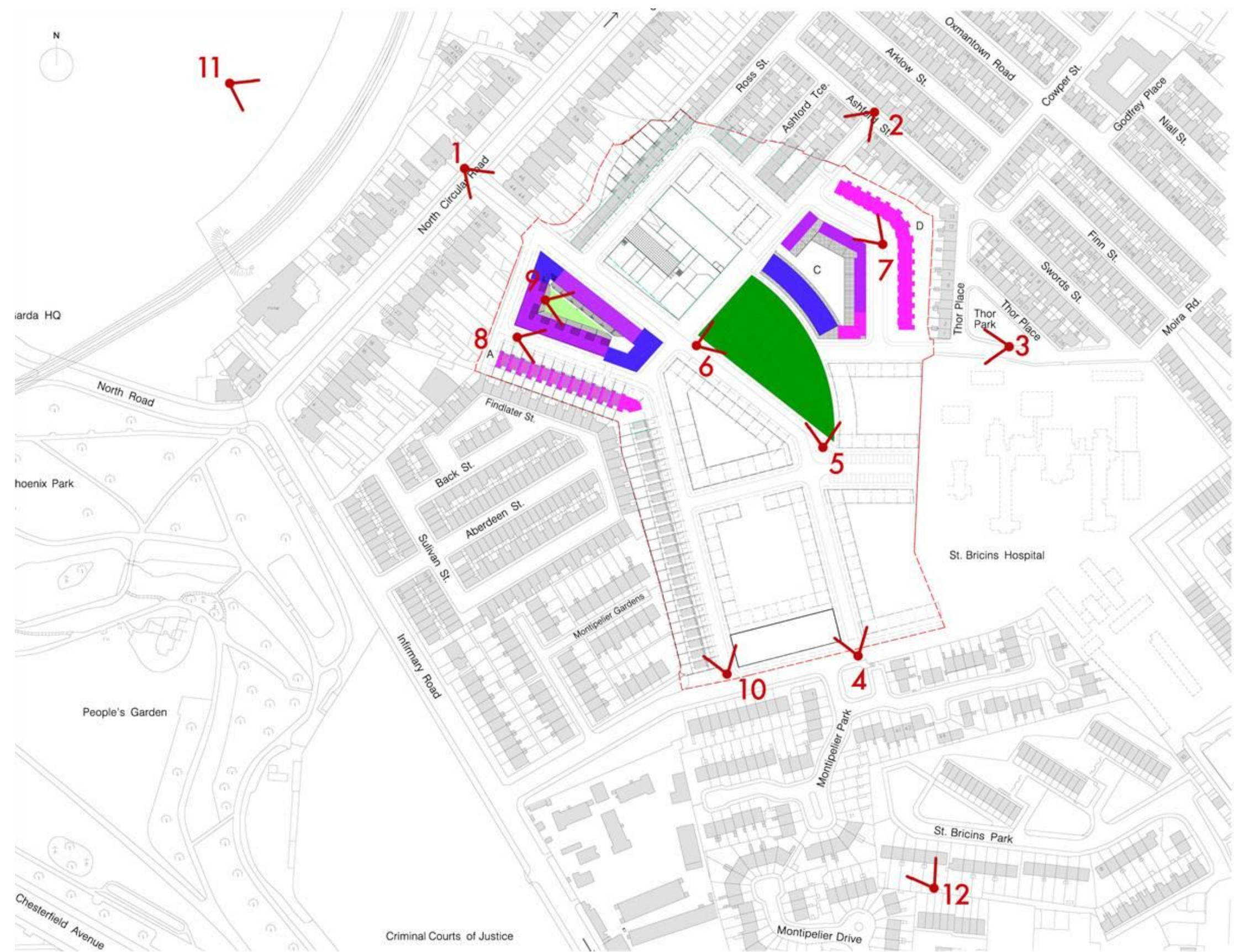


Figure 9.25: Location map for photomontages and computer-generated images:

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